

VERMONT STATE COLLEGES

**REQUEST FOR PROPOSAL AND
BUSINESS PLAN**

to

Design, Build, Finance, Operate & Maintain

A 30-Unit Market-Rate Housing Development

on the

Vermont State University Johnson Campus

Johnson, Vermont

RFP Number	VTSU-JOHN-DBFO-2026-01
Issued	August 10, 2026
Questions Due	August 28, 2026 — 5:00 PM ET
Proposals Due	September 11, 2026 — 5:00 PM ET
Issued By	Vermont State Colleges Office of the Chancellor, CFOO

Table of Contents

1. Invitation to Submit	3
2. Background	3
3. Project Overview	3-4
4. VSC Contribution	4
5. Site & Building Program	5
• Project Site	
• Building Program	
6. Scope of Services	5-6
• Design & Predevelopment	
• Financing	
• Construction	
• Operations & Management	
7. Indicative Project Economics	6-7
• Development Budget	
• Financing	
• Stabilized Operating Assumptions	
8. Proposed Deal Structure & Value to VTSU	7
9. Minimum Qualifications	7-8
10. Required Proposal Content	8
11. Evaluation Criteria	8-9
12. Submission Process & Anticipated Timeline	9
• Submission Instructions	
• Anticipated Timeline	
13. Contact & Communications	9-10
14. Terms, Conditions & Reservation of Rights	10
15. Exhibits	12
• Exhibit A – Phase I 30-unit Test Fit	
• Exhibit B – University Apartments (Existing 50-Unit Development) Site Plan	

1.0 INVITATION TO SUBMIT

Vermont State Colleges (“VSC”) invites qualified development firms to submit proposals to design, build, finance, own, and operate a new 30-unit market-rate housing development on VSC-owned land at the Vermont State University (“VTSU”) Johnson Campus in Johnson, Vermont (the “Project”).

This is a design-build-finance-operate (“DBFO”) opportunity. VSC is contributing the development site and a defined cash contribution toward design and pre-development fees. The selected developer (“Developer”) will be responsible for the balance of the project – design, all financing, construction, lease-up, and long-term ownership and operation of the building. VSC does not intend to develop, finance, guarantee, or manage the Project.

Proposals are due no later than 5:00 PM ET on August 7, 2026, submitted in accordance with Section 11. VSC anticipates inviting a shortlist of respondents to interview before selecting a single Developer for exclusive negotiation of a ground lease and development agreement. In selecting a Developer, VSC will weigh not only development and financing capability but also the long-term economic value each respondent offers through the proposed ground lease and business terms.

2.0 BACKGROUND

Lamoille County faces a serious and well-documented housing shortage. Repeated flooding events over recent years have reduced the area’s available housing stock, and new residential construction has been minimal for well over a decade. The result is a tight rental market that affects workers, families, students, and University faculty and staff across the region.

VSC owns developable land on its Johnson Campus and wishes to put that asset to productive use in addressing this need without taking on the risk, cost, or operational burden of developing and managing housing itself. By contributing the site and a targeted design-fee and predevelopment investment to an experienced private developer, VSC can catalyze the delivery of 30 new homes while the Developer provides the construction financing, development expertise, and ongoing management.

Importantly, because Johnson qualifies as a rural community and sits within a federally designated Opportunity Zone census tract, the Project may be eligible for financing tools including USDA Section 538 guaranteed financing, Vermont Economic Development Authority (“VEDA”) participation, and Qualified Opportunity Fund equity that would not be available in most markets. Respondents are encouraged, but not required, to incorporate these tools into their capital plan. VSC makes no representation or guarantee regarding the availability, terms, or approval of any such program; securing all financing is the Developer’s responsibility.

3.0 PROJECT OVERVIEW

Attribute	Description
Location	VTSU Johnson Campus, Johnson, Vermont (Lamoille County)
Project type	New construction, market-rate multifamily rental
Units	30 housing units
Building	Approximately 27,500 gross square feet; 3 stories; surface parking
Delivery model	Design – Build – Finance – Operate (DBFO)

Attribute	Description
Site control	Long-term ground lease (preferred) or deed transfer
Total development cost	Approximately \$10.6 million (indicative — see Section 7)
Ownership	Developer owns and operates the completed building

Note: Indicative figures are provided for context only. Respondents are responsible for their own due diligence, design, cost estimating, and underwriting.

Beyond the new housing development, the Johnson Campus presents broader redevelopment potential over time. Respondents are invited to describe any interest in additional opportunities on the campus, including the possible acquisition and repositioning of the University Apartments — an existing 50-unit complex adjacent to the campus that currently houses faculty, students, and community members (see Section 8.0). A summary of the University Apartments is provided in the Exhibits.

4.0 VSC CONTRIBUTION

VSC's participation in the Project is fixed and capped. Respondents must structure their proposals on the explicit understanding that VSC's entire contribution consists of the two items below, and nothing more.

Contribution	Value	Form & Conditions
Development site	~\$600,000	The Johnson Campus parcel VSC already owns, at its appraised value. Provided via long-term ground lease (preferred) or, at VSC's discretion, deed transfer. Contributed as an in-kind, non-cash interest in the Project.
Design-fee contribution	\$500,000	A one-time cash contribution earmarked solely for design and pre-development fees (architecture, engineering, and directly related professional services). Disbursed against documented, approved design costs. Not available for construction, operations, or any other purpose.
Total VSC contribution	~\$1,100,000	Land (in-kind) + \$500,000 cash for design fees. This is the ceiling of VSC participation.

VSC will not, under any structure contemplated by this RFP:

- Provide, co-sign, or guarantee any construction loan, permanent loan, or other debt;
- Contribute equity, cash, or in-kind value beyond the land and the \$500,000 design-fee contribution described above;
- Fund cost overruns, contingencies, operating shortfalls, reserves, or carrying costs;
- Take on any role in financing, leasing, maintenance, tenant relations, or property management; or
- Assume development risk, completion risk, or operating risk of any kind.

Any proposal that assumes additional VTSU capital, guarantees, credit support, or operational involvement will be deemed non-responsive.

5.0 SITE & BUILDING PROGRAM

Project Site

The Project site, which has full access to the necessary utility infrastructure, is located on the VTSU Johnson Campus. The parcel is owned by VTSU and is anticipated to be appraised at approximately \$600,000. The site lies within a federally designated Opportunity Zone census tract and within a community that qualifies as rural for USDA program purposes. A detailed site survey, environmental information, and title materials will be made available to shortlisted respondents during due diligence (see Appendices).

Building Program (Indicative)

VSC's indicative program contemplates the following unit mix. Respondents may propose refinements that improve feasibility, design quality, or financeability, but should preserve the overall scale of approximately 30 units and the market-rate orientation.

Unit Type	Units	Approx. Size	Target Rent	Target Residents
1-Bedroom	12	~617 sq ft	\$1,900 / mo	Single faculty/staff, grad students
2-Bedroom	15	~786 sq ft	\$2,200 / mo	Faculty couples, small families
3-Bedroom	3	~924 sq ft	\$2,500 / mo	Families, senior staff
Total	30	~27,500 GSF	—	Mixed community

The site test fit contemplates a 3-story building with adjacent surface parking. All design and construction is the Developer's responsibility.

6.0 SCOPE OF SERVICES

The selected Developer will be solely responsible for delivering the Project end-to-end, including but not limited to the following.

Design & Pre-Development

- Engage the architect, engineers, and consultants and lead all design from concept through construction documents;
- Secure all entitlements, permits, and regulatory approvals;
- Coordinate use of VSC's \$500,000 design-fee contribution against documented, approved design costs.

Financing

- Assemble and close the entire capital stack, all debt and all equity, required to fund the Project beyond VSC's land and design-fee contribution;
- Pursue, at the Developer's option, available financing tools (e.g., USDA Section 538, VEDA, Qualified Opportunity Fund equity, conventional construction and permanent debt);
- Bear all financing risk, cost overruns, and carrying costs.

Construction

- Procure and manage the general contractor and deliver the building on schedule and on budget;
- Carry all required insurance, bonding, and warranties; bear all completion risk.

Operations & Management

- Lease up and manage the building over the long-term marketing, leasing, rent collection, maintenance, and tenant relations;
- Fund and maintain operating and replacement reserves; comply with all program and regulatory requirements throughout the operating period.

7.0 INDICATIVE PROJECT ECONOMICS

The figures below are provided for context only and are drawn from VSC's preliminary analysis. They are not representations or warranties. Respondents must perform their own cost estimating, market study, and underwriting.

Development Budget (Indicative)

Cost Category	Amount	% of TDC
Land (in-kind, appraised)	\$600,000	5.7%
Hard costs (incl. contingency)	\$8,525,553	80.7%
Soft costs	\$1,063,220	10.1%
Developer fee (direct + deferred)	\$378,751	3.6%
Total Development Cost	\$10,567,525	100.0%

Financing

Because VSC's contribution is limited to the land and a \$500,000 design-fee and predevelopment contribution, the Developer is responsible for sourcing the balance of the total development cost, approximately \$9.47 million, through whatever combination of debt and equity it assembles.

Funding Responsibility	Indicative Amount
Total development cost	\$10,567,525
Less: VSC land (in-kind)	(\$600,000)
Less: VSC design-fee and predevelopment contribution	(\$500,000)
Balance to be financed by Developer	~\$9,467,525

The Developer's capital plan must demonstrate how this ~\$9.47M will be sourced and closed.

Stabilized Operating Assumptions (Indicative, Year 1)

Metric	Indicative Value
Gross potential rent	\$759,600 / yr
Vacancy & credit loss	5.0%

Metric	Indicative Value
Effective gross income (incl. other income)	~\$730,600 / yr
Total operating expenses	~\$197,700 / yr (27% of EGI)
Net operating income (stabilized)	~\$533,000 / yr
Implied cap rate on TDC	~5.0%

8.0 Proposed Deal Structure & Value

As part of this RFP, VSC invites respondents to submit a proposal to design, build, finance, and operate the new 30-unit market-rate housing development described in this RFP.

VSC may wish to reserve the right to lease up to 15 units, at market rents, for faculty, staff, visiting scholars, and other institutional needs. This is an option available to VSC rather than an occupancy requirement imposed on the Developer; respondents should indicate how such a right — for example, a master-lease option or a right of first refusal on a block of units — would be accommodated within their proposed structure, operating plan, and pro forma.

Respondents are also invited to describe their interest in additional redevelopment opportunities on the Johnson Campus, including the possible acquisition and repositioning of the University Apartments described in Section 3.0. Such interest is welcomed as an expression of a longer-term development partnership and will be considered as additional value to VSC; it is not required, and it is not evaluated as a separate, co-equal proposal option.

VSC prefers to initially retain ownership of the land through a long-term ground lease, with the Developer owning the building and improvements for the lease term. A deed transfer may be considered at VSC's sole discretion if a respondent makes a compelling case.

Respondents must propose the commercial terms of the relationship, including:

- Ground lease term, ground rent (fixed, escalating, periodic adjustment or reappraisal, and/or participation-based), and reversion provisions — or, alternatively, deed-transfer consideration;
- Any revenue participation, profit share, participation upon sale or refinancing, or other ongoing or back-end value offered to VSC;
- Treatment and disbursement mechanics of the \$500,000 design-fee contribution;
- Affordability, occupancy preferences (e.g., for VSC-affiliated tenants), or community benefits, if any are offered;
- Protections for VSC in the event of Developer default, non-completion, or sale of the building.

Proposals will be evaluated in part on the value and protection they deliver to VSC in exchange for the land and design-fee contribution. VSC places particular weight on the long-term economic value created through the ground lease and related business terms, and encourages respondents to propose creative structures that strengthen the enduring partnership between VSC and the Developer.

9.0 MINIMUM QUALIFICATIONS

To be considered responsive, a respondent (individually or as a team) should demonstrate:

- **Track record.** Successful development, financing, and delivery of at least three comparable multifamily projects in the past ten years.
- **Financial capacity.** Demonstrated ability to raise and close approximately \$9.5M in project debt and equity, with evidence of access to capital and lending relationships.
- **Operating capability.** In-house or contracted long-term property management capacity for market-rate multifamily housing.
- **Rural / program experience.** Preferred: experience with USDA Section 538, Opportunity Zone, or comparable rural and incentive-based financing structures.
- **Good standing.** No material litigation, default, or regulatory action that would impair performance; ability to be authorized to do business in Vermont.

10.0 REQUIRED PROPOSAL CONTENT

Proposals must be organized into the following tabbed sections. Respondents should be concise; quality and clarity are valued over length.

Tab	Section	Contents
A	Cover Letter & Executive Summary	Signed cover letter; concise summary of the proposed approach and why the respondent is the right partner.
B	Firm Qualifications & Team	Firm history, ownership, key personnel and rôles, and the architect/contractor/management team proposed.
C	Relevant Experience	Three or more comparable completed projects with cost, financing structure, outcomes, and client references.
D	Design Approach	Conceptual design narrative, indicative massing/program response, sustainability and quality approach.
E	Financing Plan	Full proposed capital stack closing the ~\$9.47M gap; sources, terms, status of commitments, and contingency plan.
F	Operations Plan	Long-term management, leasing strategy, staffing, reserves, and maintenance approach.
G	Proposed Deal Terms	Ground lease / deed terms and any value to VSC, per Section 8.
H	Schedule	Project schedule from selection through stabilized occupancy, aligned to Section 12.
I	References & Certifications	Three client references; certifications, disclosures, and acknowledgment of RFP terms.

11.0 EVALUATION CRITERIA

Proposals will be evaluated by a VSC selection committee against the weighted criteria below. VSC may shortlist respondents for interviews before final selection.

Criterion	Weight
Developer qualifications, team, and relevant experience	20%
Financial capacity and credibility of the financing plan	20%
Long-term economic value and protections offered to VSC (ground lease and business terms)	25%
Design quality and program response	15%
Operations and long-term management plan	15%
Schedule realism and overall feasibility	5%
Total	100%

12.0 SUBMISSION PROCESS & ANTICIPATED TIMELINE

Submission Instructions

- Submit one (1) electronic copy in PDF to the contact in Section 13 by the deadline below.
- Questions must be submitted in writing by August 31, 2026; VSC will circulate answers to all known respondents and post the responses to the Vermont State College System Request for Proposals (RFPs) website; Link: <https://www.vsc.edu/employee-resources/rfps/>.
- Late, incomplete, or non-conforming proposals may be rejected at VSC's discretion.

Anticipated Timeline

Milestone	Target Date
RFP issued	August 10, 2026
Written questions due	August 28, 2026 — 5:00 PM ET
VSC responses circulated	Week of August 31, 2026
Proposals due	September 11, 2026 — 5:00 PM ET
Shortlist Interviews	Mid-September 2026
Developer Selected; LOI	Late September 2026
Ground Lease & Development Agreement	Fall 2026
Construction Start	Spring 2027 (target)
Construction Complete	Spring 2028 (target)
Stabilized Occupancy	Early 2029 (target)

Dates are targets and may change. If seeking USDA funding, USDA processing is typically the critical path; respondents should plan accordingly.

13.0 CONTACT & COMMUNICATIONS

All communications regarding this RFP must be directed in writing to the designated contact below. Respondents may not contact other VTSU personnel, trustees, or campus staff regarding this RFP; doing so may result in disqualification.

Field	Detail
RFP Contact	Barry Harte, CFOO
Organization	Vermont State Colleges
Email	barry.harte@vsc.edu
Phone	(802) 224-3022
Submission	Electronic (PDF) to the email above

14.0 TERMS, CONDITIONS, & RESERVATION OF RIGHTS

The following terms and conditions govern this RFP and VSC's reservation of rights with respect to it. By submitting a proposal, each respondent acknowledges and accepts the terms set out below.

- This RFP is not an offer or a contract. No binding obligation arises until a definitive written agreement is executed by both parties and approved as required by VSC governance.
- VSC may amend, suspend, or cancel this RFP; reject any or all proposals; waive informalities; request clarifications; and negotiate with one or more respondents, all at its sole discretion.
- Respondents bear all costs of preparing and submitting proposals. VSC will not reimburse any such costs.
- All materials submitted become the property of VSC and may be subject to applicable public-records law. Mark genuinely proprietary information clearly; VSC will handle such material consistent with law.
- VSC makes no representation or warranty as to the accuracy or completeness of any information in this RFP, including indicative economics and the availability of any financing program. Respondents must conduct their own due diligence.
- Any resulting agreement is contingent on satisfactory due diligence, final design and budget, financing closing, and all required University, state, and federal approvals.
- This RFP and the resulting agreement are governed by the laws of the State of Vermont.

Public Records

VSC is a public agency subject to Vermont's public-records law. Respondents should review the following statement, which governs how proposal materials are treated under that law and each respondent's responsibility for identifying and redacting any confidential information.

The Vermont State Colleges System complies with the Vermont Public Records Act, 1 VSA § 315 et seq. which requires public agencies to allow any person to inspect or copy any public record upon request. Accordingly, bidders for this RFP are hereby advised that any communications, data or other information received by the Vermont State Colleges System during the RFP process could be subject to a public records request. However, certain records are exempt from public inspection and copying, as set forth in 1 VSA § 317(c), including, for example, those portions of a record which meet the statutory definition of a trade secret. Accordingly, bidders must submit a second copy of their proposal, from which any portion of the proposal that the consultant reasonably believes to be exempt from disclosure under the Public Records Act has been redacted, if the bidder's proposal may not be publicly inspected in its entirety.

By submitting a proposal, you indicate that you understand your sole responsibility to provide a redacted version of any confidential materials and the potential applicability of Vermont's Public Records Act to your proposal.

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Exhibit A
PHASE I 30-UNIT TEST FIT

OWNER

Vermont State University
337 College Hill
Johnson, VT 05656
(888) 398 - 8878

ARCHITECT

Freeman French Freeman, Inc.
81 Maple Street
Burlington, VT 05401
(802) 864-6844

VTSU HOUSING STUDY

CONCEPT PRICING SET - NOT FOR CONSTRUCTION

JULY 25, 2025

fff

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</



1PROJECT LOCATION

A1SCALE: 1 1/2" = 1'-0"

N

0°

N - PROJECT NORTH

T - TRUE NORTH

M - MAGNETIC NORTH



2EAST PARKING LOT SIDE VIEW

A1SCALE: N.T.S.

EXECUTIVE SUMMARY

The pupose of this study is to craete a new prototype apartment building at Vermont State University Johnson campus.

Vermont State University wants a typical 30-unit/ 3-story apartment building that could be built in phases and be modular to facilitate efficient, cost effective construction. Th egoal would be to have the ability to replicate the building/ modules on other VTSU campuses with similar site characteristics. Multiple footprints are shown to provide some flexibility and the opportunity for variation, should the prototype be placed on similar sites.

For the purposes of this study, the site to be used will be the existing surface parking lot north of the Visual Art Center at the Johnson campus. A conceptual construction cost estimate is to be prepared to give a sense of the probable costs to construct the building in one or two phases. The estimate will be on a square-foot basis with assumptions made and qualified for structural, mechanical, electrical, and plumbing systems. Additional assumptions will be made for site and geotechnical with the understanding that favorable soils and utilities to support the project are in place.

BASIS OF DESIGN:

- (A+A') MODULAR FOOTPRINT
- 30 UNITS PER PHASE, TWO PHASES
- THREE FLOORS
- FLAT ROOF
- ALL WOOD FRAMING
- CEMENTITIOUS SIDING ALL PARTS
- MEMBRANE ROOFING

ALTERNATE LIST

ALTERNATE 1

- LEVELS 2 & 3 - SLIDING FULL GLASS DOOR W/ 8FT X 4FT PORCH W/ METAL HORIZONTAL RAILS
- LEVEL 1 – SLIDING FULL GLASS DOOR W/ 8FT X 4FT RAILING W/ METAL HORIZONTAL RAILS

ALTERNATE 2

- JULIET BALCONY W/ METAL HORIZONTAL RAILS

ALTERNATE 3

- ADD (1) 1-BEDROOM UNIT PER FLOOR TO SQUARE OFF END OF WINGS

ALTERNATE 4

- ADD 4TH FLOOR, SAME MODULAR FOOTPRINT

ALTERNATE 5

- STEEL FRAME W/ WOOD INFILL FRAMING

ALTERNATE 6

- BRICK UP TO 32" HEIGHT W/ CEMETITIOUS SIDING ABOVE

ALTERNATE 7

- BRICK UP TO 32" HEIGHT W/ PHENOLIC WALL PANELS ABOVE

ALTERNATE 8

- ASPHALT SHINGLES IN LIEU OF STANDING SEAM METAL ROOFING ON GABLE ROOF MASSING.

SUMMARY

1. BASIS OF DESIGN IS THE A+A' MODULAR
2. FLAT ROOF
3. THREE-STORY BUILDING: 60 TOTAL UNITS
4. THREE-STORY BUILDING: 102 TOTAL BEDS
5. MIX OF 1-BEDROOMS, 2-BEDROOMS AND 3-BEDROOMS. NO STUDIO UNITS
6. FLOOR SF: 23,870 SF
7. TOTAL SF: 7,610 SF



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VTSU HOUSING STUDY



JOHNSON, VT

FFF PROJECT NO:

2539

ORIGNATION DATE: SCALE:

07/13/25 N.T.S.

DRAWN BY: CHECKED BY:

JG AH

ISSUE LOG:

CONCEPT PRICING 07/23/2025

SHEET CONTENTS:

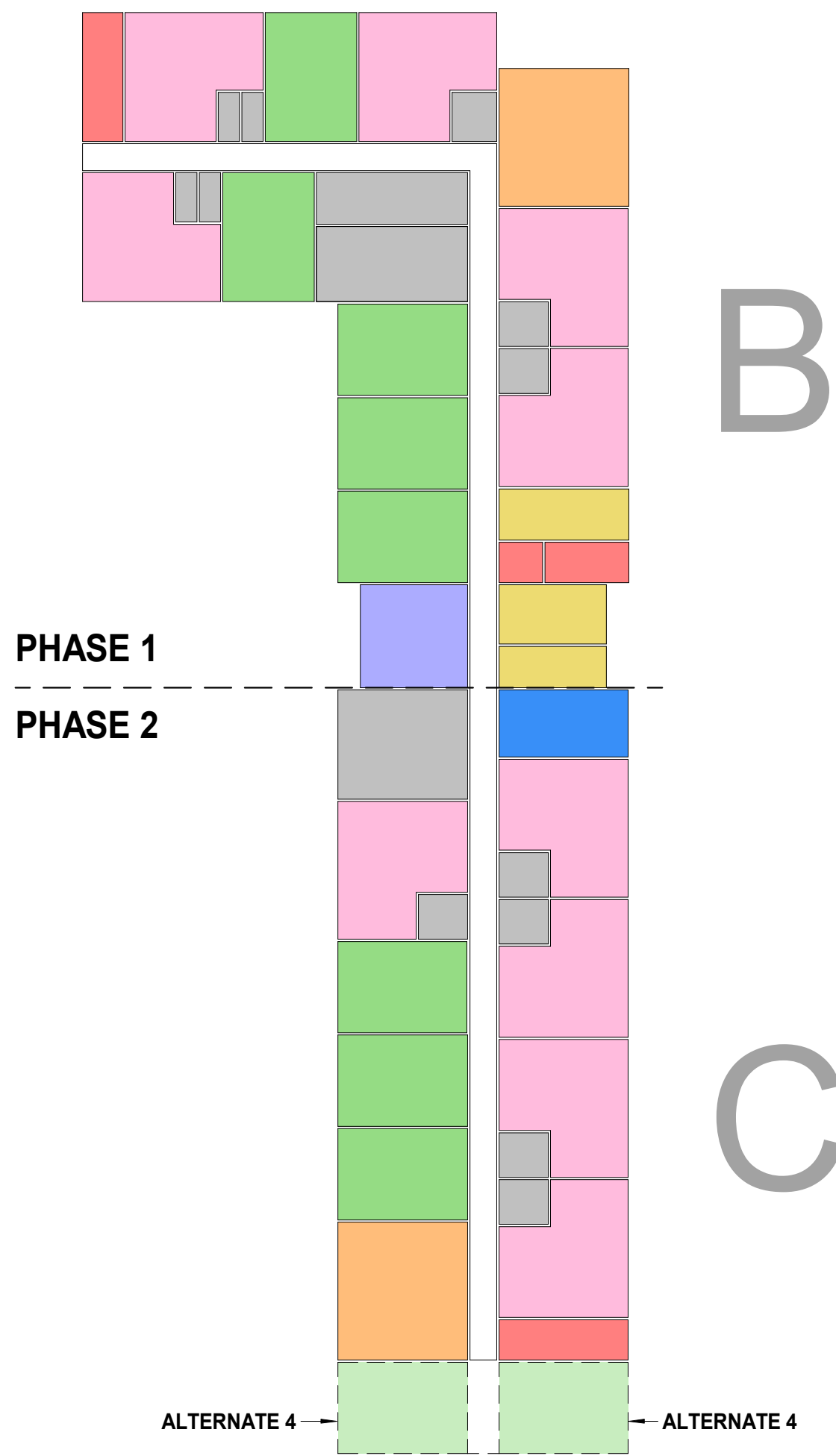
EXECUTIVE SUMMARY

SHEET NO:

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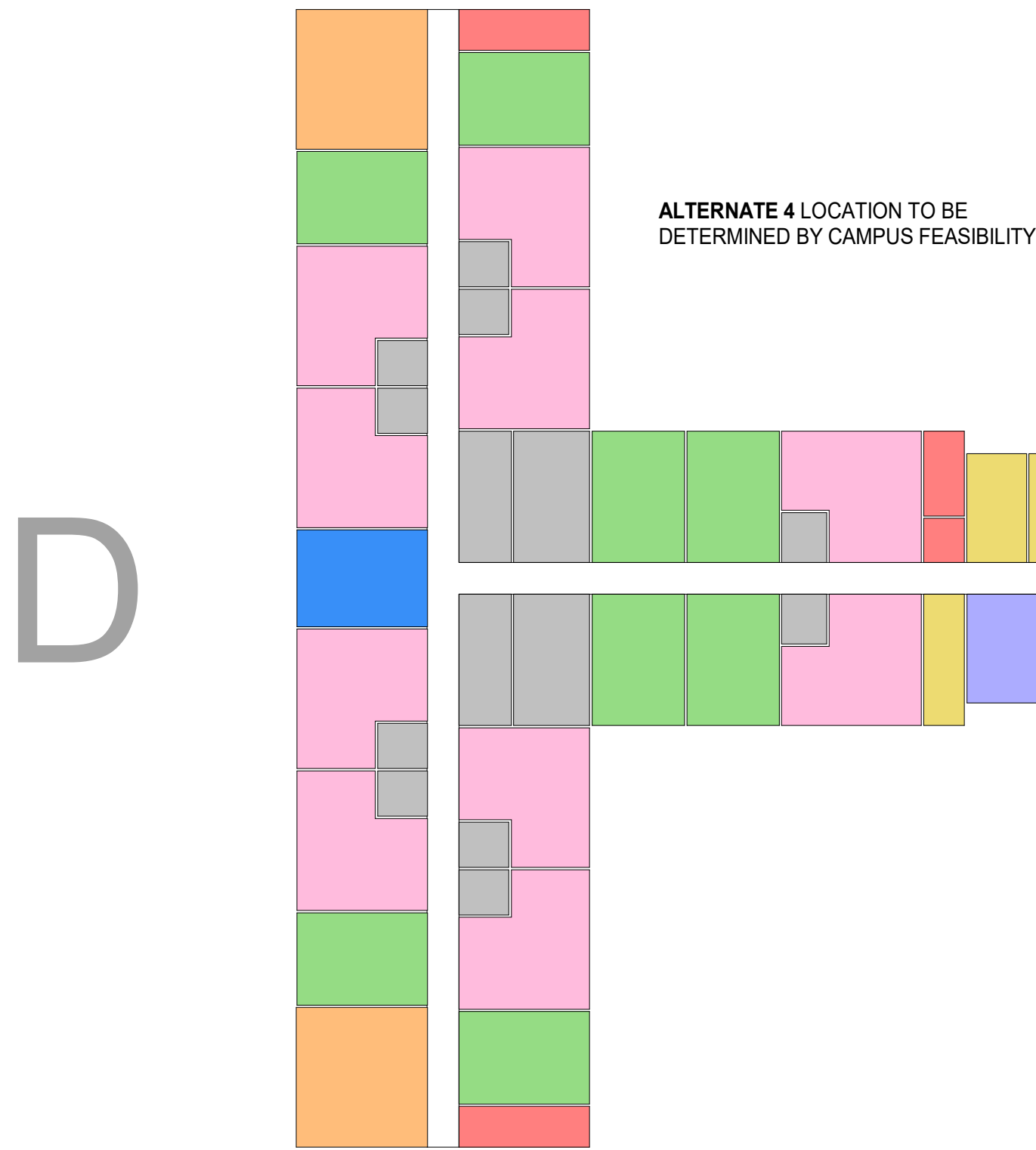
B + C

	UNIT TYPE	# OF UNITS	# OF FLOORS	TOTAL UNITS	UNIT SF	TOTAL SF
	STUDIO	0	3	0	0	0
	1-BEDROOM	5	3	15	617	9,255
	2-BEDROOM	5	3	15	786	11,790
	3-BEDROOM	1	3	3	924	2,772
			TOTAL UNITS PER PHASE:	33	TOTAL SF PER PHASE:	23,817
	STUDIO	0	3	0	0	0
	1-BEDROOM	3	3	9	617	5,553
	2-BEDROOM	5	3	15	786	11,790
	3-BEDROOM	1	3	3	924	2,772
			TOTAL UNITS PER PHASE:	27	TOTAL SF PER PHASE:	20,115
			TOTAL UNITS:	60	TOTAL SF:	43,932
			TOTAL BEDS:	102		
			ALTERNATE 4 (ADDITIONAL FLOOR):	80		

SHARED SPACE KEY

	CORRIDOR
	STAIRS & ELEVATOR
	COMMUNITY ROOM
	STUDY ROOM
	BUILDING SUPPORT SPACE

1 CONCEPT UNIT MIX AND MODULAR FOOTPRINT - B + C
A3 SCALE: 1/32" = 1'-0"



D

	UNIT TYPE	# OF UNITS	# OF FLOORS	TOTAL UNITS	UNIT SF	TOTAL SF
	STUDIO	0	3	0	0	0
	1-BEDROOM	8	3	24	617	14,808
	2-BEDROOM	10	3	30	786	23,580
	3-BEDROOM	2	3	6	924	5,544
			TOTAL UNITS:	60	TOTAL SF:	43,932
			TOTAL BEDS:	102		
			ALTERNATE 4 (ADDITIONAL FLOOR):	80		

SHARED SPACE KEY

	CORRIDOR
	STAIRS & ELEVATOR
	COMMUNITY ROOM
	STUDY ROOM
	BUILDING SUPPORT SPACE

2 CONCEPT UNIT MIX AND MODULAR FOOTPRINT - D
A3 SCALE: 1/32" = 1'-0"



VTSU HOUSING STUDY



JOHNSON, VT

FFF PROJECT NO: 2539

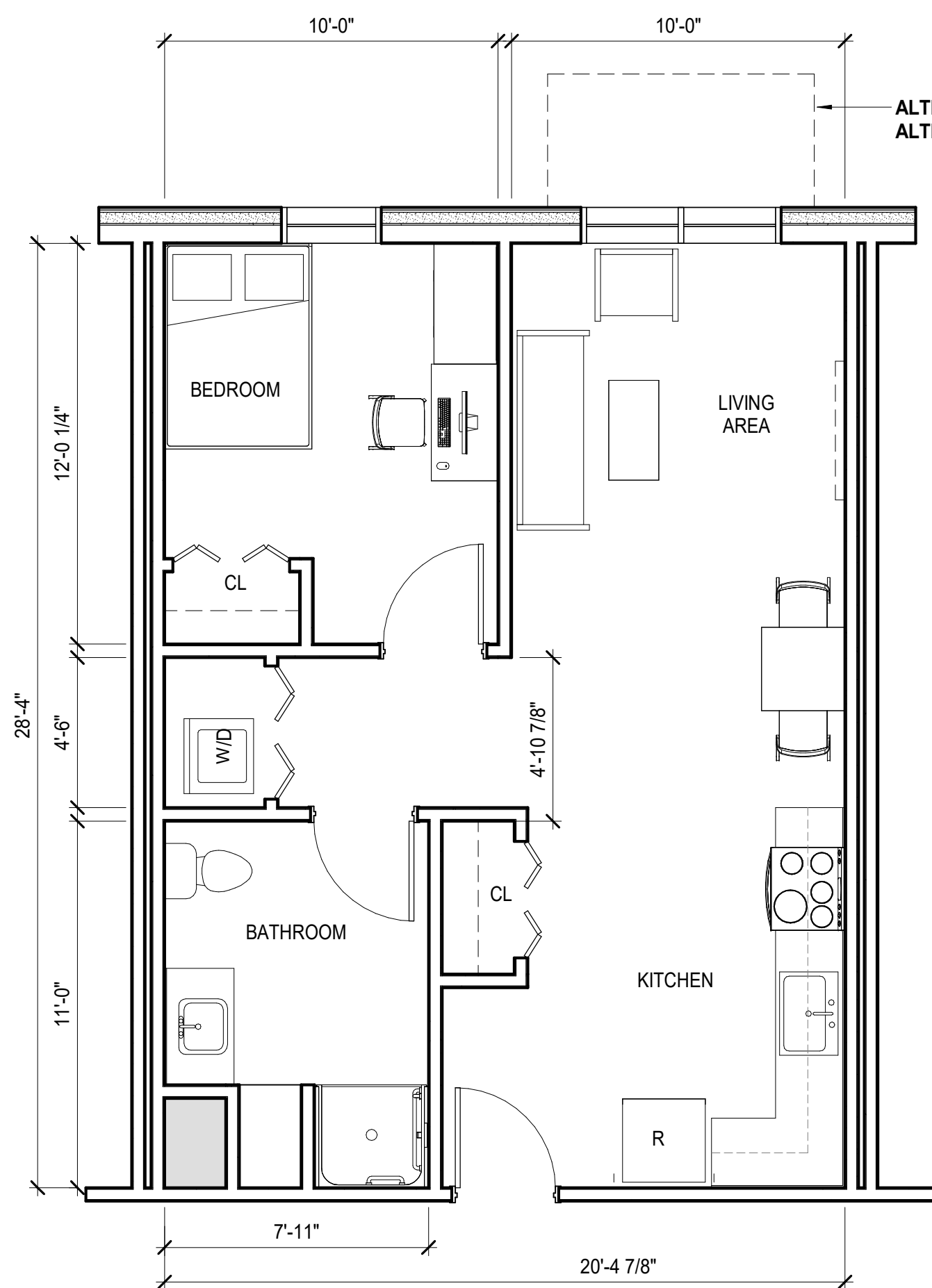
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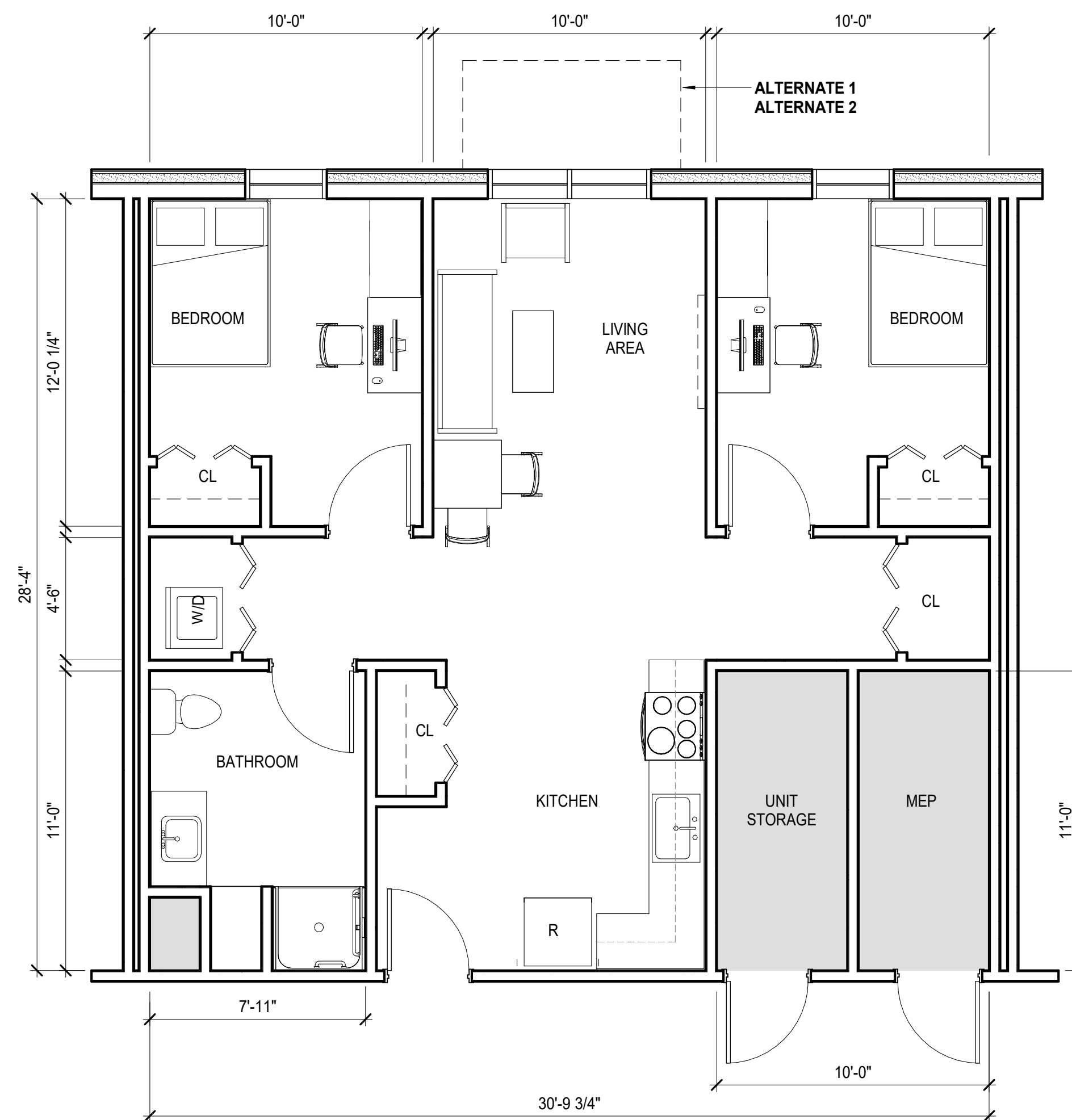
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MODULAR FOOTPRINT (B+C AND D)

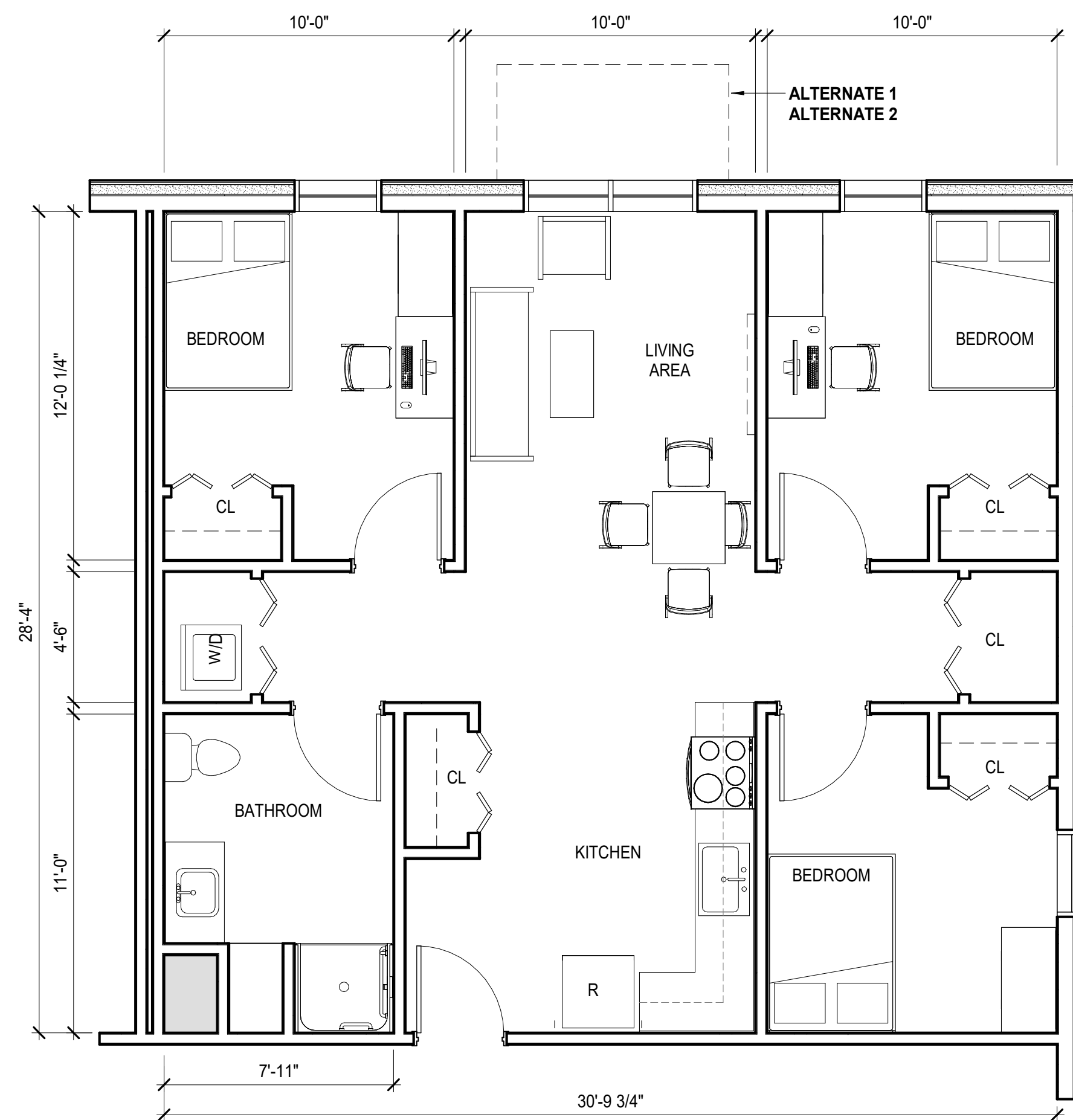
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617 GSF



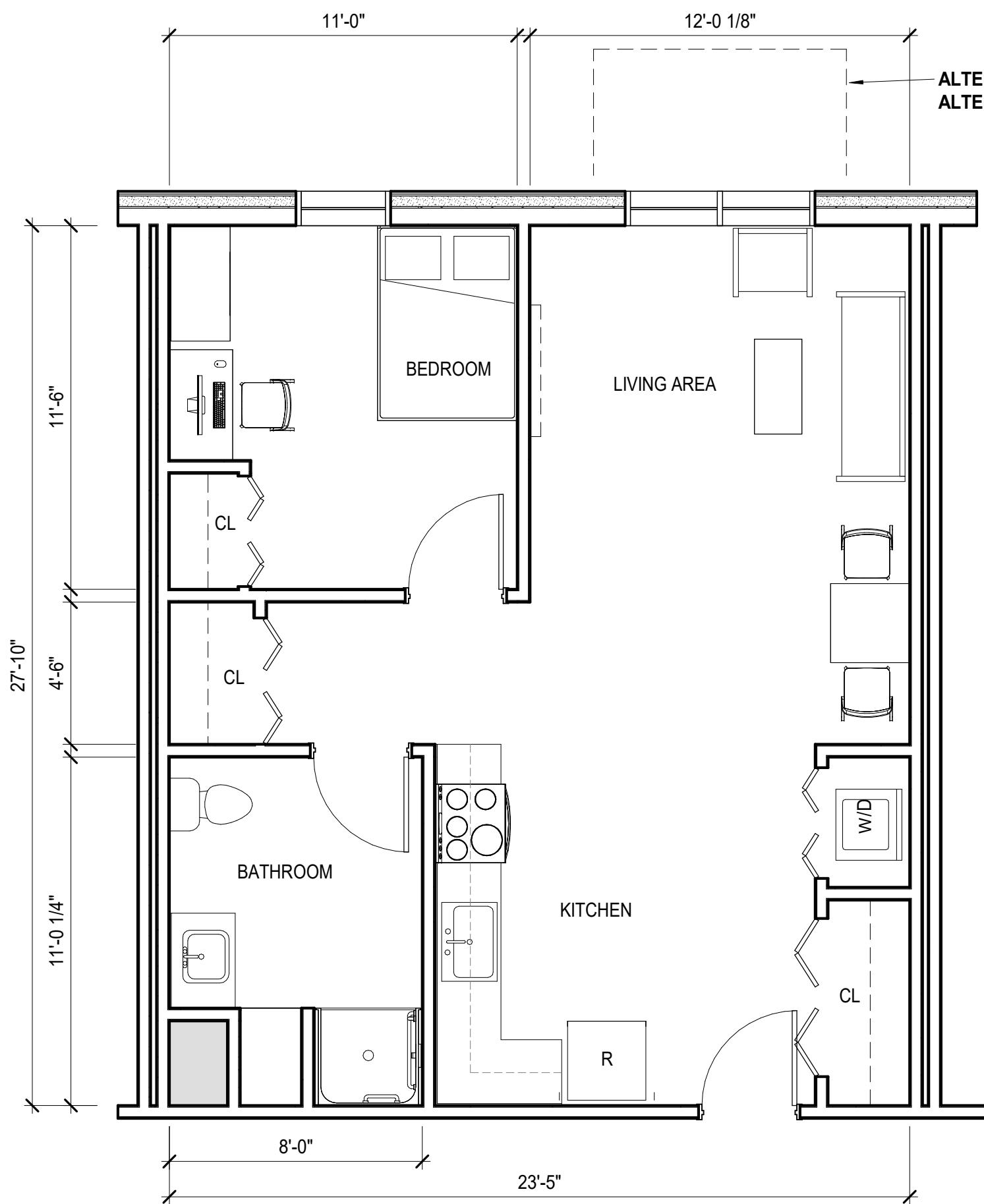
786 GSF



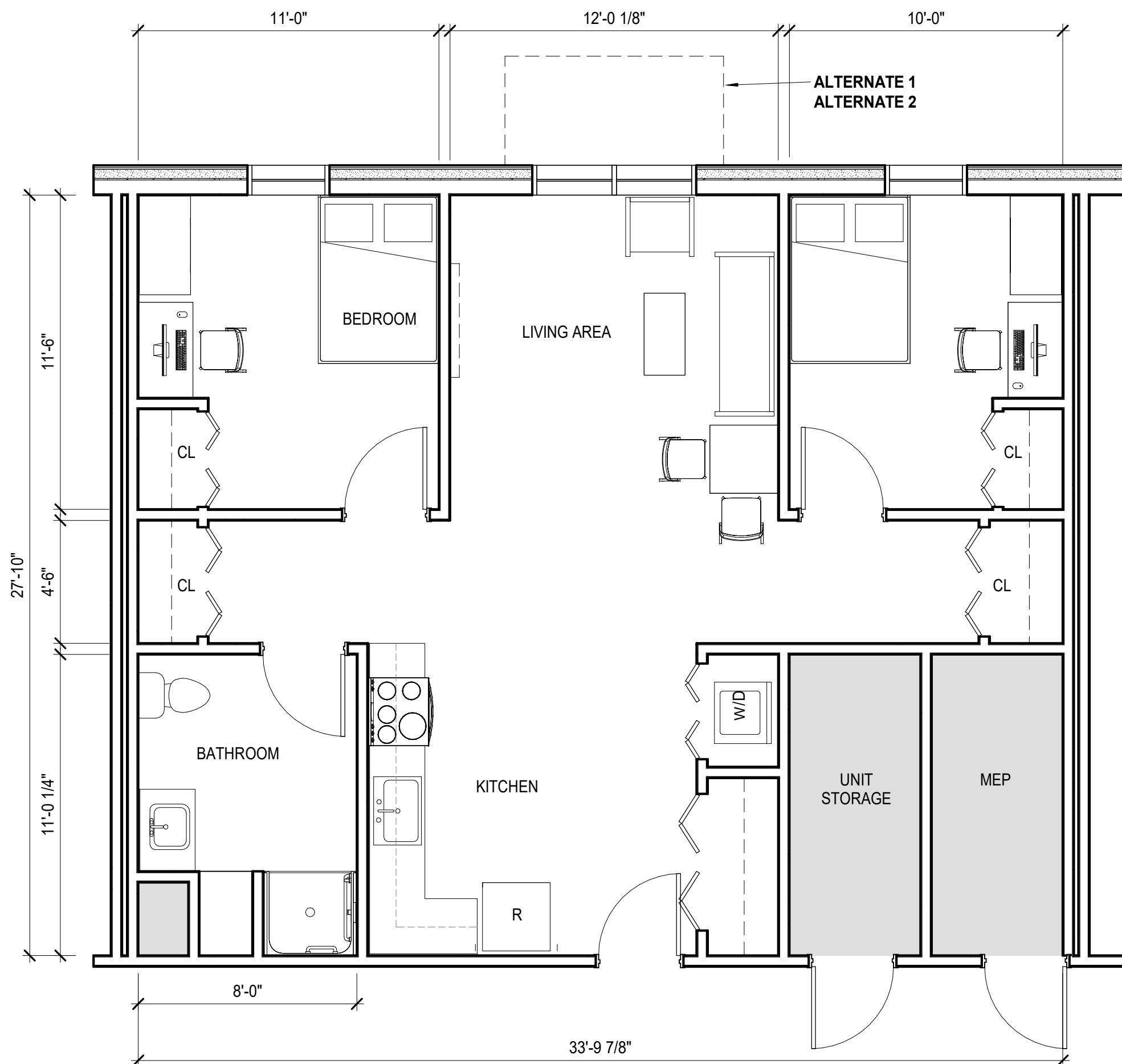
924 GSF
CORNER UNIT

TYPICAL UNIT:

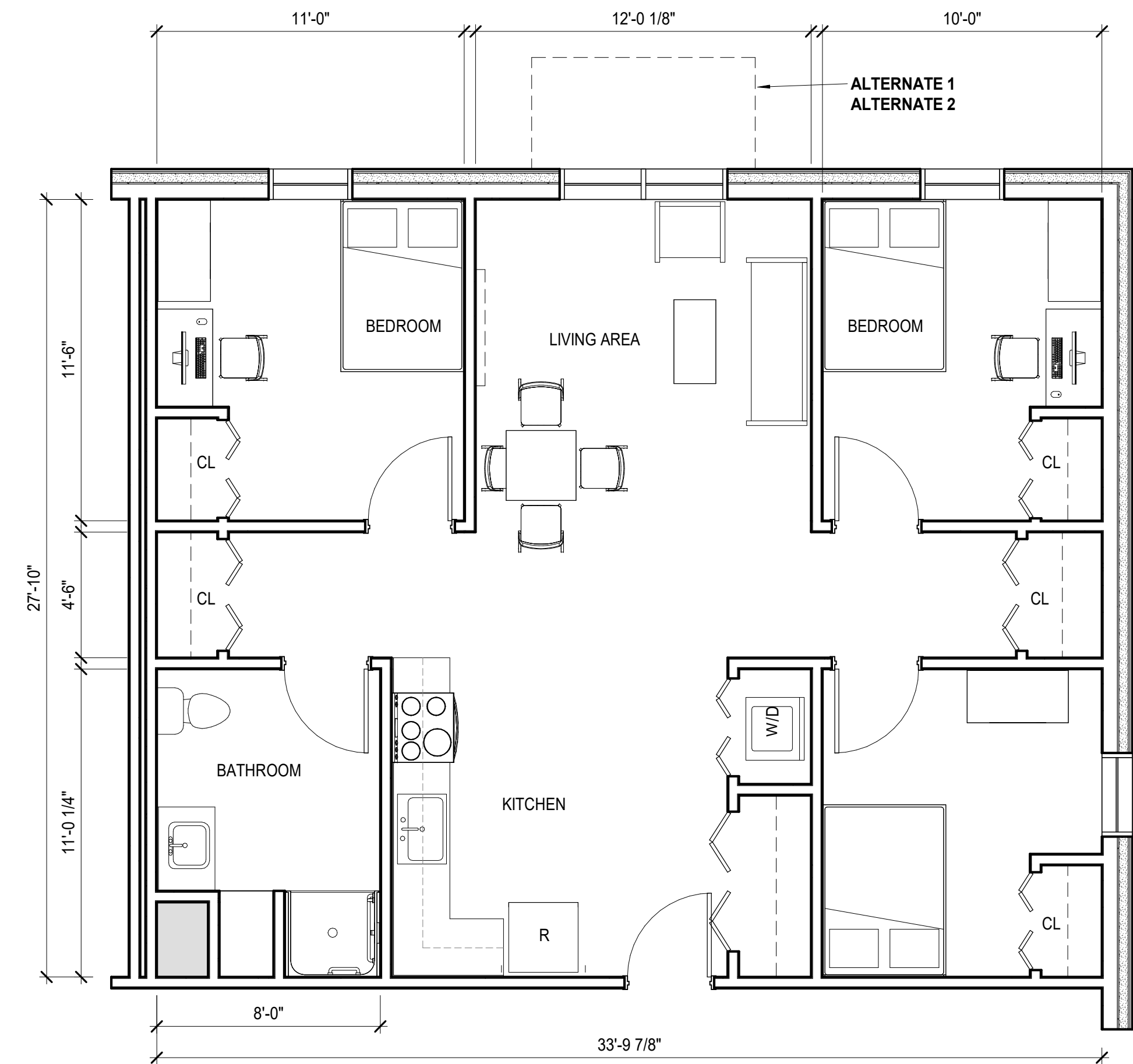
- CORRIDOR 36" X 84" SOLID CORE WD VENEER DOOR W/ HM FRAME, PAINTED.
- INTERIOR UNIT SWING DOORS: PREHUNG HOLLOW CORE DOORS, PAINTED.
- CLOSET W/IN LIVING SPACE TO BE 48" X 84" BI-PARTING WD DOOR W/ WD FRAME, PAINTED.
- CLOSET W/IN BEDROOM TO BE 42" X 84" BI-PARTING WD DOOR W/ WD FRAME, PAINTED.
- BEDROOM WINDOW TO BE 36" X 48" CASEMENT UNIT.
- LIVING ROOM WINDOW TO BE (2) 36" X 48" CASEMENT UNIT.
- ALL CLOSETS TO HAVE WIRE SHELF AND COAT ROD.
- BATHROOM TO HAVE LINEN SHELVES, MELAMINE FINISH.
- PROVIDE A SHOWER UNIT.
- ASSUME ADA UNITS WILL BE 2FT WIDER.
- ASSUME STACKED WASHER/ DRYER UNITS IN ALL UNITS. ASSUME SIDE BY SIDE UNITS IN ADA UNITS.
- **ALTERNATE 1** (SEE LIST).
- **ALTERNATE 2** (SEE LIST).



693 GSF



867 GSF

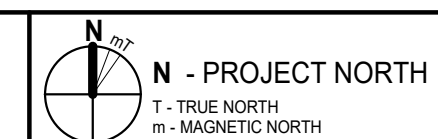


994 GSF
CORNER UNIT

TYPICAL UNIT:

- CORRIDOR 36" X 84" SOLID CORE WD VENEER DOOR W/ HM FRAME, PAINTED.
- INTERIOR UNIT SWING DOORS: PREHUNG HOLLOW CORE DOORS, PAINTED.
- CLOSET W/IN LIVING SPACE TO BE 48" X 84" BI-PARTING WD DOOR W/ WD FRAME, PAINTED.
- CLOSET W/IN BEDROOM TO BE 42" X 84" BI-PARTING WD DOOR W/ WD FRAME, PAINTED.
- BEDROOM WINDOW TO BE 36" X 48" CASEMENT UNIT.
- LIVING ROOM WINDOW TO BE (2) 36" X 48" CASEMENT UNIT.
- ALL CLOSETS TO HAVE WIRE SHELF AND COAT ROD.
- BATHROOM TO HAVE LINEN SHELVES, MELAMINE FINISH.
- PROVIDE A SHOWER UNIT.
- ASSUME ADA UNITS WILL BE 2FT WIDER.
- ASSUME STACKED WASHER/ DRYER UNITS IN ALL UNITS. ASSUME SIDE BY SIDE UNITS IN ADA UNITS.
- **ALTERNATE 1** (SEE LIST).
- **ALTERNATE 2** (SEE LIST).

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STUDY



JOHNSON, VT

FFF PROJECT NO:
2539

ORIGINATION DATE: 06/10/21 SCALE: 1/4" = 1'-0"

DRAWN BY: JG CHECKED BY: AH

ISSUE LOG:
CONCEPT PRICING 07/23/2025

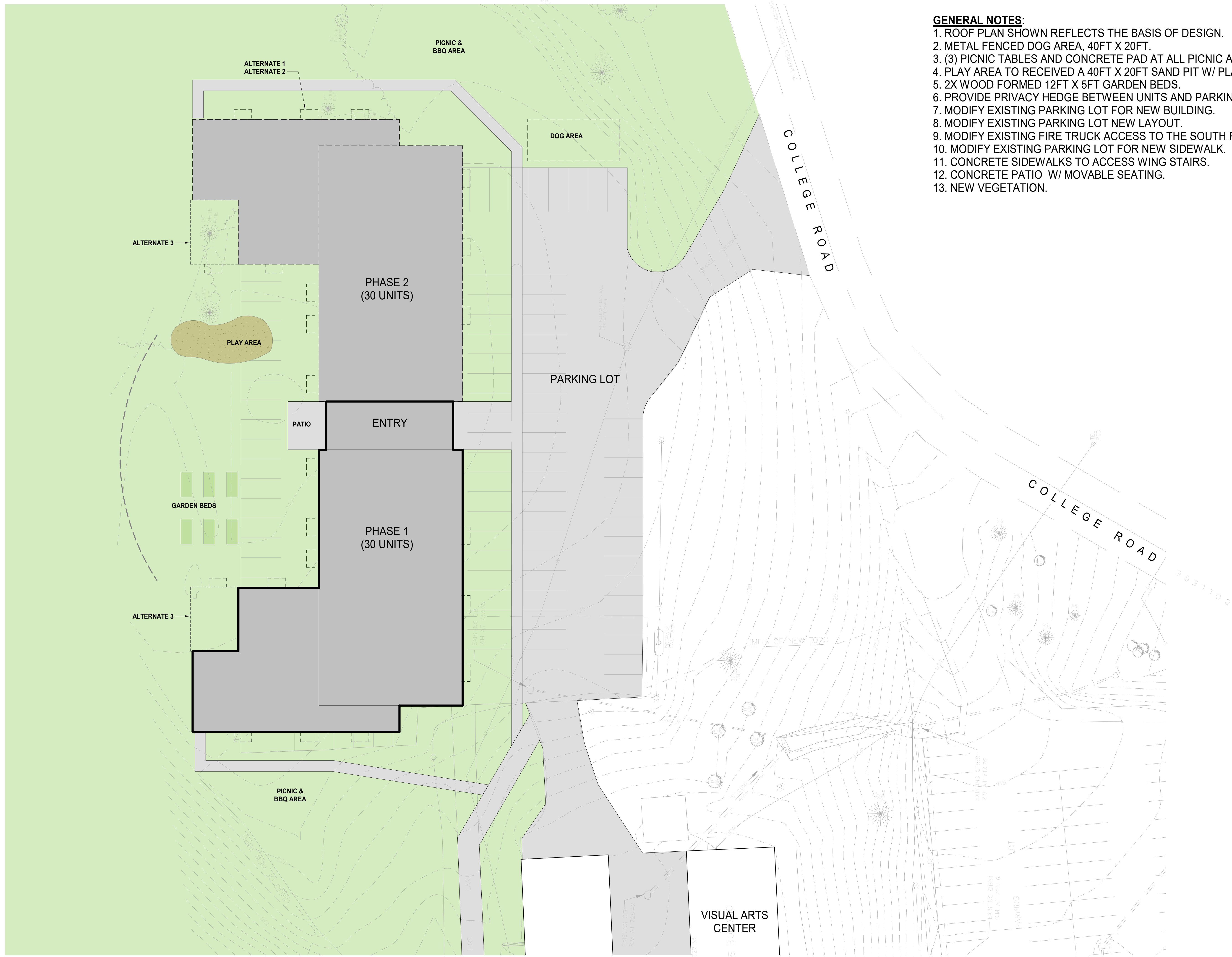
SHEET CONTENTS:

UNIT PLANS -
ALTERNATE

SHEET NO:

A5

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- GENERAL NOTES:**
1. ROOF PLAN SHOWN REFLECTS THE BASIS OF DESIGN.
 2. METAL FENCED DOG AREA, 40FT X 20FT.
 3. (3) PICNIC TABLES AND CONCRETE PAD AT ALL PICNIC AREAS.
 4. PLAY AREA TO RECEIVED A 40FT X 20FT SAND PIT W/ PLAYGROUND EQUIPMENT.
 5. 2X WOOD FORMED 12FT X 5FT GARDEN BEDS.
 6. PROVIDE PRIVACY HEDGE BETWEEN UNITS AND PARKING LOT.
 7. MODIFY EXISTING PARKING LOT FOR NEW BUILDING.
 8. MODIFY EXISTING PARKING LOT NEW LAYOUT.
 9. MODIFY EXISTING FIRE TRUCK ACCESS TO THE SOUTH FOR NEW BUILDING.
 10. MODIFY EXISTING PARKING LOT FOR NEW SIDEWALK.
 11. CONCRETE SIDEWALKS TO ACCESS WING STAIRS.
 12. CONCRETE PATIO W/ MOVABLE SEATING.
 13. NEW VEGETATION.



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SHEET CONTENTS:

**SITE PLAN - BASIS
OF DESIGN**

SHEET NO:

A6

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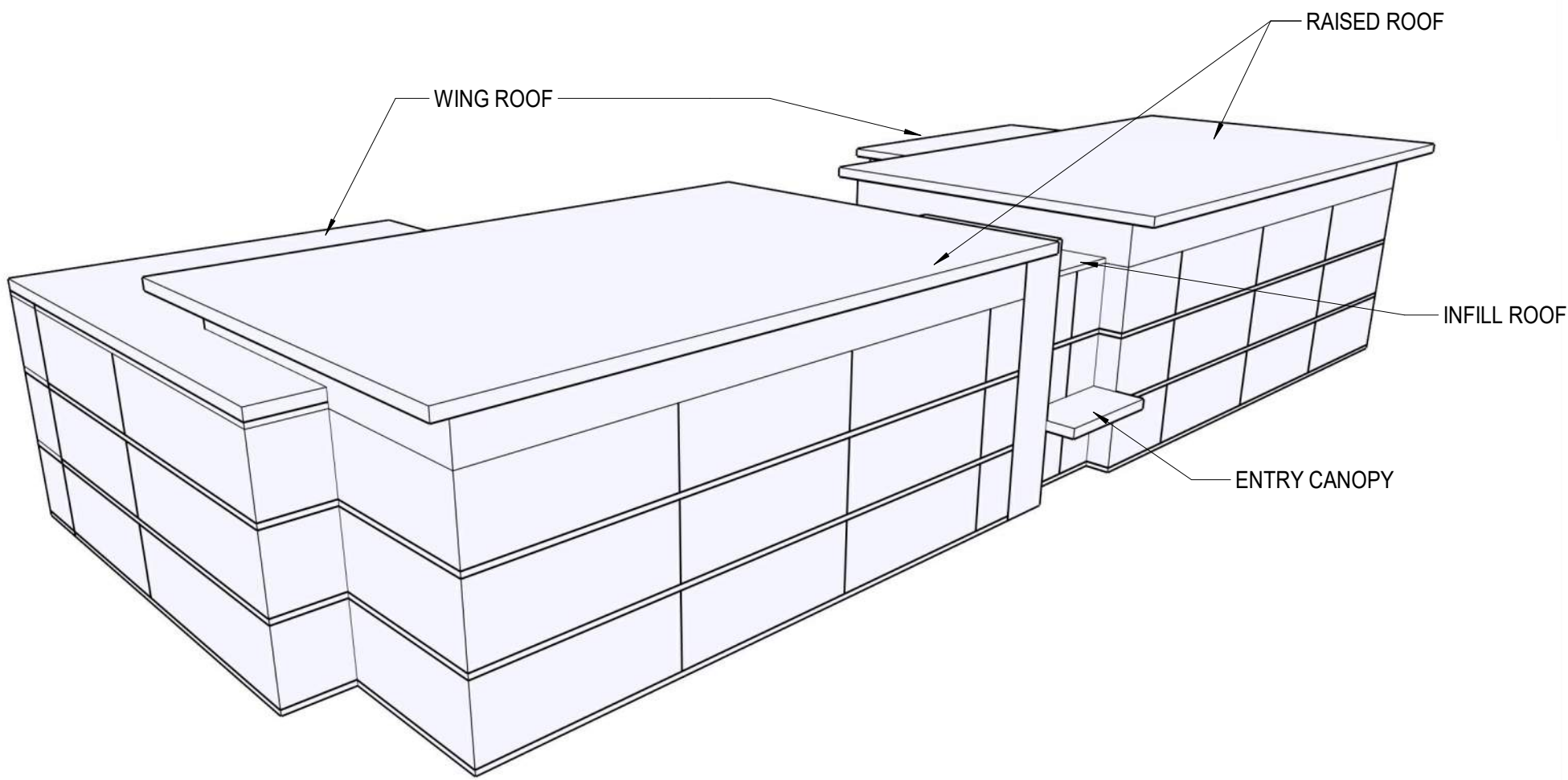
1 CONCEPTUAL SITE PLAN - OPTION A + A'
A6 SCALE: 1" = 20'-0"



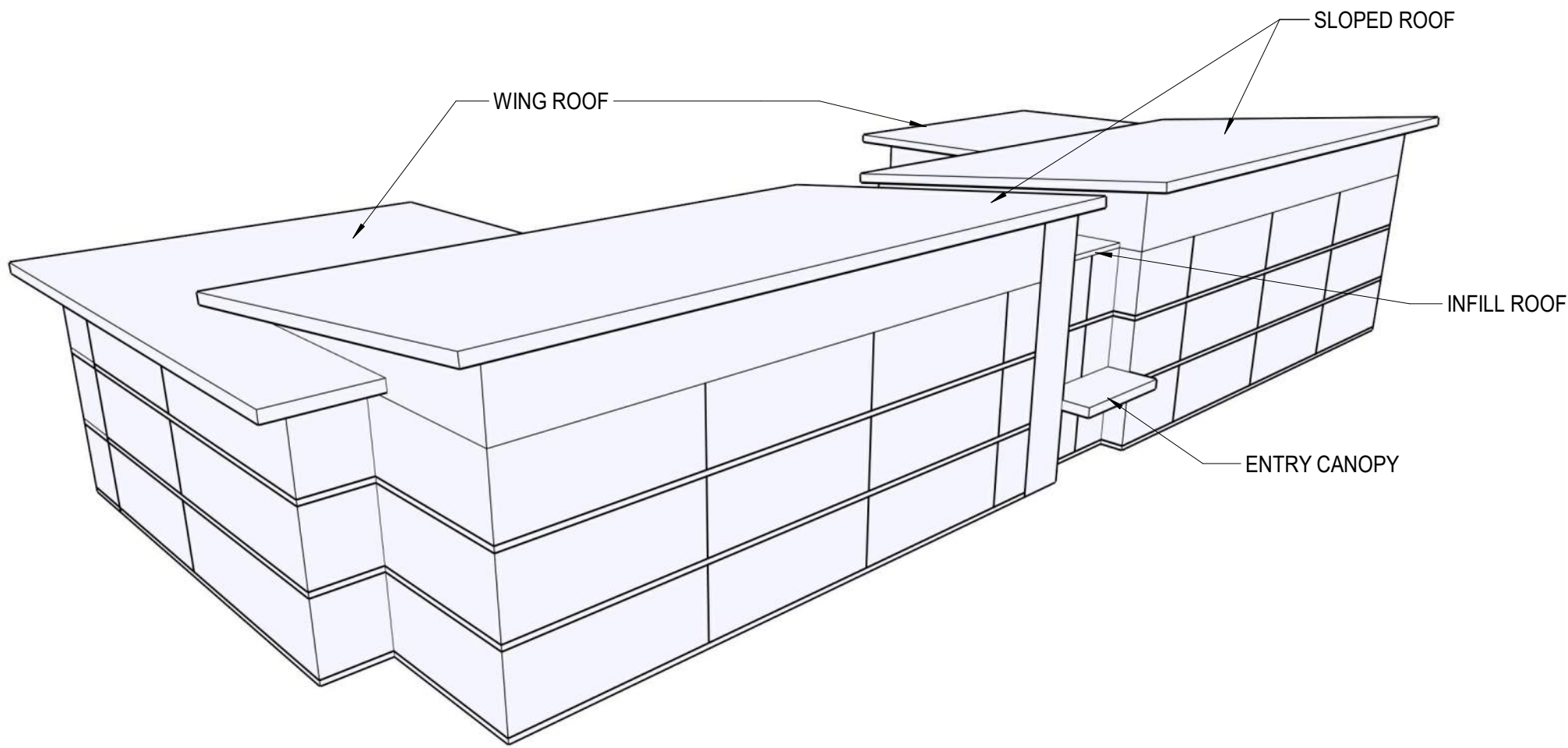


- GENERAL NOTES:**
1. ASSUME BUILDING IS FULLY SPRINKLERED.
 2. ALL UNIT DEMISING WALLS TO BE 1/2-HR RATED ASSEMBLY.
 3. ALL CORRIDORS WALLS TO BE SMOKE PARTITION WALL ASSEMBLY.
 4. ALL STAIR WALLS TO BE 1-HR RATED ASSEMBLY.
 5. ALL ELEVATOR WALLS TO BE 1-HR RATED ASSEMBLY.
 6. ALL FLOOR TO FLOOR SEPARATIONS TO BE
 7. ALL FLOOR TO ATTIC SEPARATIONS TO BE
 8. PROVIDE 3/8" THICK SOUND ATTENUATION MAT AT LEVEL 2 AND 3 UNDER ALL UNIT FLOORING.

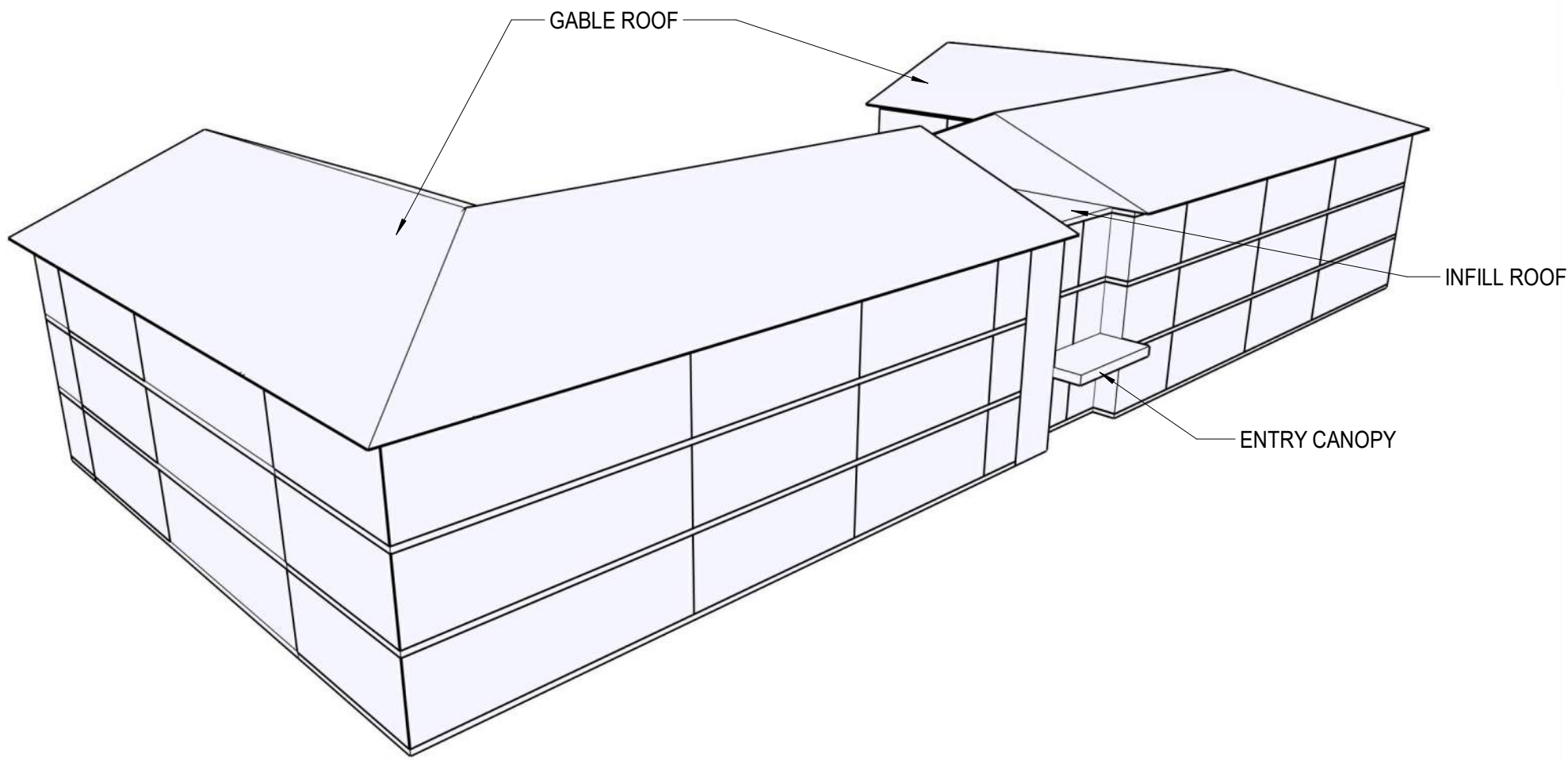
- PROGRAM NOTES:**
1. PHASE 2 SHOWS A MEP SATELLITE ROOM.
 2. **ALTERNATE 2** TO ADD (1) 1-BEDROOM AT EACH PHASE, ALL FLOORS.
 3. STUDY ROOM TO HAVE FURNITURE BY OWNER.
 4. COMMUNITY ROOM TO HAVE FURNITURE BY OWNER.
 5. MAIL ROOM TO HAVE MAILBOX UNITS AND PACKAGE BOXES.
 6. BIKE ROOM TO HAVE WALL BIKE BRACKETS.



- FLAT ROOF OPTION**
- WING & INFILL ROOF:
 - ROOFING MEMBRANE OVER COVERBOARD, INSULATION TO MEET VT BUILDING ENERGY CODE ON SUBSTRATE BOARD, AIR/ VAPOR RETARDER OVER STRUCTURAL FRAMING.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - RAISED ROOF IS 4FT ABOVE WING ROOF.
 - RAISED ROOF:
 - ROOFING MEMBRANE OVER COVERBOARD, INSULATION TO MEET VT BUILDING ENERGY CODEON SUBSTRATE BOARD, AIR/ VAPOR RETARDER OVER STRUCTURAL FRAMING.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - PROVIDE AN ENTRY SIDE OVERHANG: 6FT.
 - PROVIDE AN OVERHANG AT OTHER SIDES: 3FT.
 - ENTRANCE CANOPY:
 - ROOFING MEMBRANE OVER COVERBOARD, ON METAL DECKING, TAPERED INSULATION TO SCUPPER.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - PROVIDE COMPOSITE FINISH BOARD AT SIDES AND UNDERSIDE.
 - PROVIDE 6FT DEPTH.



- SLOPED ROOF OPTION**
- WING & INFILL ROOF:
 - ROOFING MEMBRANE OVER COVERBOARD, INSULATION TO MEET VT BUILDING ENERGY CODE ON SUBSTRATE BOARD, AIR/ VAPOR RETARDER OVER STRUCTURAL FRAMING.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - SLOPED ROOF IS 6FT ABOVE WING ROOF.
 - RAISED ROOF:
 - ROOFING MEMBRANE OVER COVERBOARD, INSULATION TO MEET VT BUILDING ENERGY CODEON SUBSTRATE BOARD, AIR/ VAPOR RETARDER OVER STRUCTURAL FRAMING.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - PROVIDE AN ENTRY SIDE OVERHANG: 6FT.
 - PROVIDE AN OVERHANG AT OTHER SIDES: 3FT.
 - SLOPE: 1.25:12.
 - ENTRANCE CANOPY:
 - ROOFING MEMBRANE OVER COVERBOARD, ON METAL DECKING, TAPERED INSULATION TO SCUPPER.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - PROVIDE COMPOSITE FINISH BOARD AT SIDES AND UNDERSIDE.
 - PROVIDE 6FT DEPTH.



- GABLE ROOF OPTION**
- GABLE ROOF:
 - STANDING SEAM ALUMINUM ROOFING OVER ROSIN SLIP SHEET AND SHEATHING, ROOF INSULATION TO MEET VT BUILDING ENERGY CODE, SHEATHING, AIR/ VAPOR RETARDER OVER STRUCTUAL FRAMING.
 - PROVIDE COMPOSITE TRIM FASCIA BOARD.
 - PROVIDE COMPOSITE SOFFIT FINISH.
 - PROVIDE A 3FT EAVE OVERHANG.
 - SLOPE: 4:12.
 - INFILL ROOF:
 - ROOFING MEMBRANE OVER COVERBOARD, INSULATION ON SUBSTRATE BOARD, AIR/ VAPOR RETARDER OVER STRUCTURAL FRAMING.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - ENTRANCE CANOPY:
 - ROOFING MEMBRANE OVER COVERBOARD, ON METAL DECKING, TAPERED INSULATION TO SCUPPER.
 - PROVIDE MIN 6" PRE-ENGINEERED FASCIA.
 - PROVIDE COMPOSITE FINISH BOARD AT SIDES AND UNDERSIDE.
 - PROVIDE A 6FT DEPTH.

- NOTE**
- FLOOR PLAN WILL SHIFT TO SQUARE OF CORNER.

TYPICAL EXTERIOR ASSEMBLIES

NOTE: ASSEMBLIES ARE LISETED FROM INTERIOR TO EXTERIOR.

TYPICAL EXTERIOR WALL - CEMETITIOUS SIDING

- 5/8" GYPSUM BOARD.
- SMART VAPOR BARRIER.
- 2X6 FRAMING W/ CELLULOSE INSULATION.
- 1/2" PLYWOOD SHEATHING.
- INSULATION SYSTEM BASIS OF DESIGN: HUBER ENGINEERING WOODS, ZIP SYSTEM INSULATED, 2" POLYISOCYANURATE EXTERIO INSULATION, WITH INTEGRATED A/W BARRIER.
- CEMETITIOUS SIDING.

TYPICAL SLAB ON GRADE

- SLAB ON GRADE
- INSULATION UNDER SLAB
- CRUSHED STONE AND OTHER FILL

TYPICAL EXTERIOR WALL - PANEL AT GRADE

- CONCRETE FOUNDATION WALL.
- FOUNDATION DAMP PROOFING SYSTEM.
- DRAINAGE BOARD FROM TOP OF SLAB TO TOP OF FOOTING.
- PREFABRICATED TONGUE AND GROOVE WALL PANEL W/ 2" XPS INSULATION AND 5/16" CONCRETE FACED, SEALANT AT ALL PANEL JOINTS, FROM TOP OF SLAB ELEVATON TO 2FT BELOW TOP OF SLAB.

GENERAL:

- FLOORS ARE 11FT FLOOR TO FLOOR.
- SEE ALTERNATE LIST.



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SHEET CONTENTS:
**EXTERIOR
MASSING &
DETAILS**

SHEET NO:

A8

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Room Type	Floor	Base	Wall	Millwork Counter	Millwork Vertical	Wall Protection	Ceiling	Specialty Lighting	Comments
UNIT - LIVING ROOM	LVT	1X4 WOOD, PAINT	PAINT				GWB, PAINT		
UNIT - KITCHEN AREA	LVT	1X4 WOOD, PAINT	PAINT	SOLID SURFACE	PLAM		GWB, PAINT		
UNIT - BATHROOM	PORCELAIN TILE	PORCELAIN TILE	CERAMIC TILE TO APPROX. 4", PAINT ABOVE	SOLID SURFACE	PLAM		GWB, PAINT		SHOWER INSERT
UNIT - BEDROOM & CLOSET	LVT	1X4 WOOD, PAINT	PAINT				GWB, PAINT		
UNIT - CLOSET(S)	LVT	1X4 WOOD, PAINT	PAINT	MELAMINE SHELVING			GWB, PAINT		
UNIT - WASHER/ DRYER CLOSET	LVT	1X4 WOOD, PAINT	PAINT				GWB, PAINT		
VESTIBULE	ALUMINUM WALK-OFF GRILLE	4" RUBBER	PAINT				GWB, PAINT		
LOBBY	PORCELAIN TILE	6" PORCELAIN BASE	PAINT				GWB, PAINT		PROVIDE 2" THICK ACOUSTIC WALL PANELS - ASSUME 25% OF WALL SURFACES
BIKE ROOM	SHEET RUBBER	4" RUBBER	PAINT			FRP, 96" HEIGHT	GWB, PAINT		ABUSE RESISTANT GWB
MAIL ROOM	SHEET RUBBER	4" RUBBER	PAINT				GWB, PAINT		
STUDY ROOM	CARPET TILE	1X4 WOOD, PAINT	PAINT, ASSUME 25% ACCENT WALL PAINT	SOLID SURFACE	PLAM	1X4 WOOD CHAIR RAIL PROVIDE 2" THICK ACOUSTIC WALL PANELS. ASSUME 35% OF WALL SURFACES	GWB, PAINT	PROVIDE (8) DECORATIVE WALL-MOUNTED LIGHT FIXTURES, ASSUME \$250-300/FIXTURE (RETAIL)	
COMMUNITY ROOM	CARPET TILE	1X4 WOOD, PAINT	PAINT, ASSUME 25% ACCENT WALL PAINT	SOLID SURFACE	PLAM	1X4 WOOD CHAIR RAIL PROVIDE 2" THICK ACOUSTIC WALL PANELS. ASSUME 35% OF WALL SURFACES	GWB, PAINT	PROVIDE (8) DECORATIVE WALL-MOUNTED LIGHT FIXTURES, ASSUME \$250-300/FIXTURE (RETAIL)	CUSTOM GRAPHICS WALL COVERIN G-DESIGNTEX, ALL WALLS.
CORRIDORS	CARPET TILE	4" RUBBER	PAINT			WALL COVERING UP TO 1X4 WOOD CHAIR RAIL (PAINTED). 2" ACROVYN CORNER GUARDS AT ALL OUTSIDE CORNERS.	GWB, PAINT		ABUSE RESISTANT GWB
STAIRS	RUBBER STAIRS & LANDINGS	4" RUBBER	PAINT				GWB, PAINT		ABUSE RESISTANT GWB. PAINTED METAL HANDRAIL.
ELEVATOR	SHEET RUBBER	BY MANUF. (S.S.)	PLAM				BY MANUF.		
STORAGE ROOM	SHEET VINYL	4" RUBBER	PAINT				GWB, PAINT		ABUSE RESISTANT GWB
JANITOR'S CLOSET	SAFETY FLOORING - SHEET VINYL	6" INTEGRAL BASE	PAINT			FRP, 48" HEIGHT @ JANITOR'S SINK	GWB, PAINT		
MEP SUPPORT SPACES	SHEET VINYL	4" RUBBER	PAINT				GWB, PAINT		

- GENERAL NOTES:
1. PROVIDE TOP-DOWN, BOTTOM UP CELLULAR SHADES AT ALL UNITS, COMMUNITY ROOM, STUDY ROOM.
 2. PROVIDE UNDER CABINET LIGHTING AT ALL UPPER CABINETS.
 3. LVT TO BE PHTALATE FREE.



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SHEET CONTENTS:

FINISH SCHEDULE

Exhibit B

UNIVERSITY APARTMENTS (EXISTING 50-UNIT DEVELOPMENT) SITE PLAN



VTSU Johnson Campus